



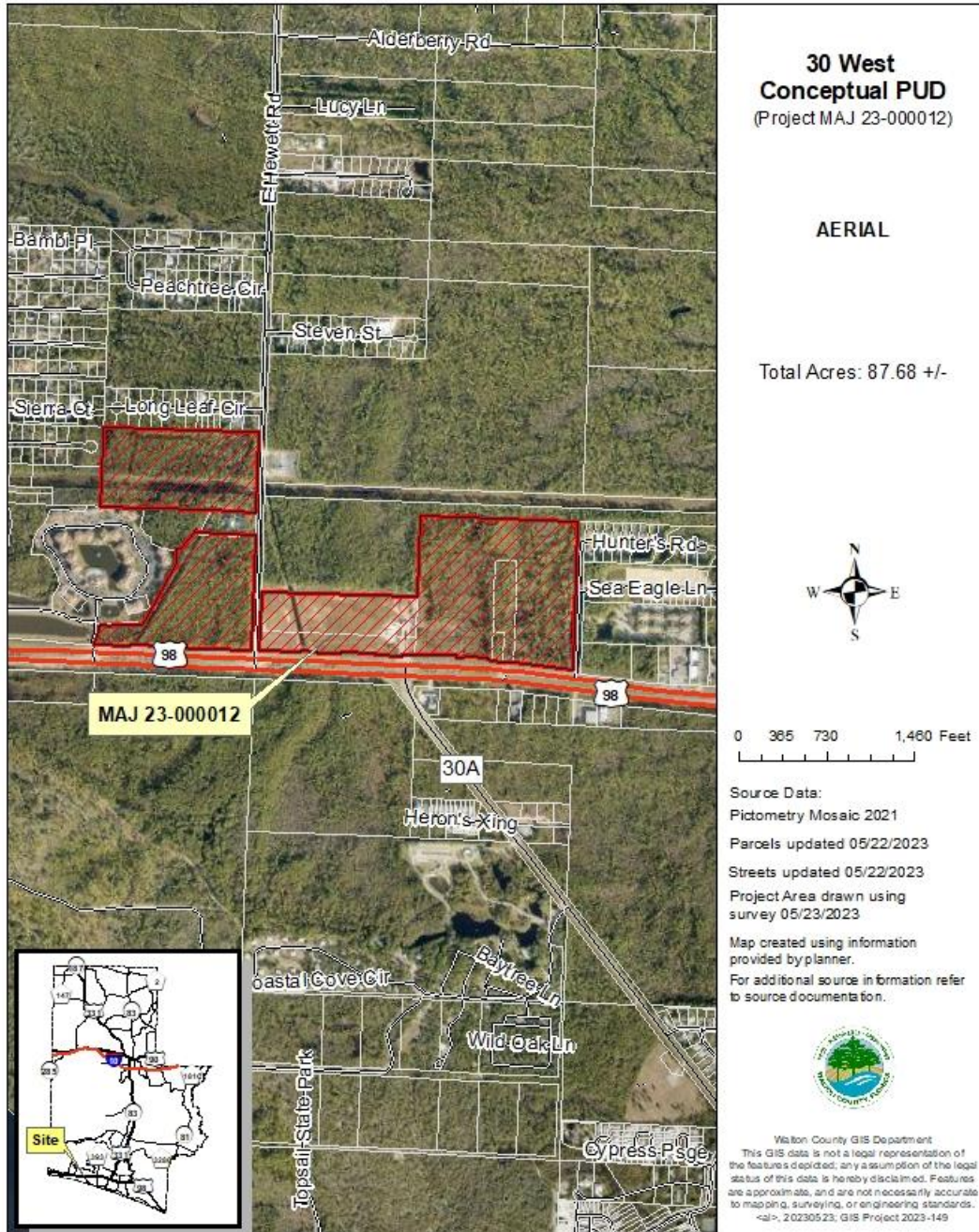
Staff Report to the Walton County
Board of County Commissioners
November 28, 2023



Project # MAJ23-000012

30 West Conceptual Planned Unit Development (PUD) Master Plan

PROJECT LOCATION MAP





**Staff Report to the Walton County
Board of County Commissioners
November 28, 2023**



Project # MAJ23-0000012

30 West Conceptual Planned Unit Development (PUD) Master Plan

PROJECT OVERVIEW							
Applicant:	Scott Jenkins, P.E. Jenkins Engineering, Inc.						
Owner:	Howard Group – Jacob Fish (Multiple Owners)						
Staff Project Manager:	Stephen Schoen, AICP						
Parcel ID#:	29-2S-20-33000-045-0000, 29-2S-20-33000-046-0050, 29-2S-20-33000-046-0040, 29-2S-20-33000-050-0000, 29-2S-20-33000-011-0010, 30-2S-20-33230-000-0110, & 30-2S-20-33230-000-001A						
Property Location:	The parcels are located just north of the intersection of US Hwy 98 and CO Hwy 30A, between East Hewitt Road and Hunters Road.						
Commissioner District:	4						
Applicant's Request:	Requesting approval of a master conceptual PUD consisting of 717 multi family units, 309,655 square feet of grocery, retail, office, limited lodging, civic, recreational, and associated infrastructure on 87.7 +/- acres with future land uses of mixed use and conservation residential and zoning districts of village mixed use, conservation residential 2:1, and coastal center mixed use.						
Public Hearing History: <i>(Conditions for approval are listed below.)</i>	Board	Meeting Date	Outcome	Condition(s)			
	Design Review Board:	TDB		☐			
	Technical Review Committee:	6/7/2023	APPROVED	☒			
	Planning Commission:	10/12/2023	APPROVED	☐			
	Board of County Commissioners:	11/13/2023	APPROVED	☐			
Public Notice History: <i>(All Public Comment Received Prior to Report Printing Deadline is Attached):</i>	Meeting	Sign Posted	Letter Sent	Ad Published			
	Neighborhood Meeting:	☐ N/A	☐ N/A	☐	N/A		
	Design Review Board:	☐ N/A	☐ N/A	☐	N/A		
	Technical Review Committee:	☒	☐ N/A	☒			
	Planning Commission:	☒	☒	☒			
	Board of County Commissioners:	☒	☒	☒			
Infrastructure Summary:	Water:	Regional Utilities - Available					
	Sewer:	Regional Utilities - Available					
	Transportation:	Concurrency not met – PFS due during Detailed PUD					
	Stormwater:	To be reviewed during Detailed PUD					
	Site Access:	Number of Access Points	Comply	Non-Comply			
		multiple	☒	☐			
Special Considerations:	Portions of the site had been previously approved as parts of other developments; the Topsail West PUD and the Topsail Plaza PUD. The Topsail Plaza PUD is defunct. The Topsail West PUD is undergoing a Less Than Minor review to revise the land area under the original approval.						
Proposed Conditions of Approval:	1. Payment of any outstanding fees. 2. The property owner shall perpetually manage and maintain all required uncomplimentary land use buffer areas in a state to meet the criteria specified in						



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Section 5.1.07. Where the buffer area requirement is established prior to or at the time of site approval, platting, or replanting, such buffer areas and maintenance responsibility shall be specifically referenced in such approved development order and plat. Failure to maintain such landscaped buffers in an attractive and healthy state shall be considered a violation subject to enforcement in accordance with Chapter 7 of the Land Development Code.

3. The applicant has provided sufficient information and assurances that the height of the proposed structures will not exceed 50' in keeping with the height limitation and methodology requirements under Section 5.00.04 of the Land Development Code. The height detail shall be provided during Detailed PUD review.
 - a. Building or structure height is the vertical distance or measurement from the average elevation of the existing natural ground beneath the footprint of the building or structure to the highest point at the top of the building or structure or the highest point of the coping of a flat roof, the deck line of a mansard roof, or the mean height level between eaves and ridge for gable, hip, domed, curved, and gambrel roofs. Building or structure features such as chimney height as required by the Florida Building Code shall not be included in the methodology for measurement for building or structure height.
4. The conceptual plans indicate cross-access capabilities being provided through the extension of Dune Lakes Boulevard from the eastern terminus of the existing roadway to Hunters Rd. During future technical submittals, the technical details will be thoroughly reviewed and evaluated to ensure the intent of cross-access as defined in the Walton County LDC has been met.
5. The provided traffic information and response letter indicates that currently there are no operational improvements warranted along East Hewett Road. Based upon adjacent development trends, Public Works will request an updated operational analysis for US 98 and E Hewett Rd and/or turn lane warrant analyses along E Hewett Rd project access points with each technical submittal that will take into account the current background traffic at the time of the submittal.
6. The Applicant provided a commitment letter, dated August 23, 2023, that indicates their intent to construct Dune Lakes Blvd from the existing eastern terminus, across the development parcel, and connect to CR 30A intersection to provide the functional benefits intended with the original Topsail PUD. Please note that Public Works conceptual approval is contingent upon the PUD project site layout and phasing plan being developed as currently shown. Any amendment to the PUD or phasing plan will need to be reviewed by Public Works to ensure the same functional benefit is being provided or a revised traffic concurrency review may be needed. Additionally, it should be noted that the



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	Applicant's letter states their desire that proportional fair share (PFS) credits will be applied to the construction of the Dune Lakes Blvd extension. Public Works and the Planning Department's engineering consultant, John Algehemand, P.E. with DRMP, are in agreement that this does not meet the criteria to be credited towards any proportional fair share (PFS) contribution that is required. 7. As a part of the school transportation process, please include school bus accessibility stops for student pick up and drop off in the project's design phase. This would improve student safety. 8. Access roadways shall be 20 ft unobstructed width. 15 ft width is permitted for one-way traffic. 9. Access roadway width shall be permitted to be reduced to 12ft minimum at gate egress and exit lanes. 10. Access roads shall be accessible to fire apparatus once construction of structures begins. 11. Dead end access roadways longer than 150 ft shall be provided with an SWFD approved turn-around for emergency apparatus. 12. Once access roads are developed, street signs shall be installed identifying each access road and shall remain in place throughout the construction phase as well as when the project is completed. 13. A fire department access road shall extend to within 50 ft (15 m) of at least one exterior door that can be opened from the outside and that provides access to the interior of the building. 14. In accordance with NFPA 1141, residential sub-divisions serving 101-600 units shall be required to have two separate access roads. This has been identified. 15. Any proposed gates shall be required to be submitted to SWFD for review/ approval. Indicate fire hydrant location(s). They shall be listed prior to final SWFD approval. 16. The maximum distance to a fire hydrant from the closest point on the buildings shall not exceed 400 ft (driving distance) The maximum distance between fire hydrants shall not exceed 500 ft. (driving distance) 17. Fire Hydrants shall be located no further than 100ft from fire department connections (FDC). 18. Fire hydrants shall be located not more than 12 ft from the fire department access road Fire hydrant shall be operational once construction of structures begins. 19. A more detailed review shall be required for final SWFD approval. 20. Hydrants must be painted Chrome Yellow.			
Reviewer Summary	List of Technical Reviewers	N/A	Comply	Non-Comply
	Anna Hudson, PE Public Works	☐	☒	☐
	DRMP Engineering	☒	☒	☐



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	Andrea Ward, Staff Traffic Engineer	☒	☐	☐
	Andrea Ward, Staff Stormwater Engineer	☒	☐	☐
	Floodplain Management	☐	☒	☐
	Karen Taporco, Eglin AFB	☐	☒	☐
	Donna Free, Walton County EMS	☐	☒	☐
	Brad Bohn, Environmental Planner	☐	☒	☐
	Sammy Sanchez, South Walton Fire District	☐	☒	☐
	North Walton Fire District	☒	☐	☐
	Utility Provider	☐	☒	☐
	Darrin Dunwald, S Walton Mosquito Control	☐	☒	☐
	Michelle Doggette, School Board	☐	☒	☐
	Crystal Steele, FDOH	☐	☒	☐
	Georgina Hicks, Code Enforcement	☐	☒	☐
	Matthew Betts, GIS	☐	☒	☐
	Scott Rosenheim, County Surveyor	☐	☒	☐
	Florida DOT	☒	☐	☐
	Planning Department	☐	☒	☐

PROJECT ANALYSIS				
Future Land Use:	Mixed Use & Conservation Residential			
Zoning District	Coastal Center Mixed Use, Village Mixed Use, Conservation Residential 2:1			
Site Area (ac):	87.7 +/- acres			
Density:	Allowed:	9.78 units/acre based on wetland impact areas having been removed. Total units = 857	Proposed:	717 (0.83 of the total site) 8.18 units/acre
Impervious Surface Area:	Allowed:	73.3% with wetland impact areas.	Proposed:	40.1%
Floor Area Ratio:	Allowed:	2.0	Proposed:	(2.0) (0.08 of the total site)
Structure Height:	Allowed:	50'	Proposed:	50'
Parking:	Required:	Based on Multi-family, Restaurant, general business, hotel, private club, & grocery, etc. uses: 2,295 spaces	Proposed:	Total with 20% allowable reduction under Ch. 6 for rear parking = 1,836 spaces
Additional Comment:				
Previous Actions:				
Consistency with the Comprehensive Plan:	YES	☒	NO	☐



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Consistency with the Land Development Code:

YES



NO



Additional Comment:

STAFF REVIEW COMMENTS

Planning and Development Services Comments:

Date: 10/3/2023

1. Previous Planning and Development Services have been addressed. No additional comments at this time.
2. **NOTE:** There is a need to amend the previous Topsail West PUD approval in keeping with Section 2.06 of the Land Development Code. The Topsail Plaza PUD is being abandoned and the current application is developing this area in keeping with the current LDC requirements.
3. **NOTE:** No deviations are being requested under this PUD application.
4. **NOTE:** Staff has included the provided public benefit as identified within the submitted PUD support documentation:
 - a. Creation of a signature, "gateway" project at the western intersection of CR 30A and U.S. 98.
 - b. Extension of Dunes Lake Boulevard through the project site to the proposed ingress/egress at the CR 30 A / U.S. 98 intersection.
 - c. Proposed overpass or underpass at the project U.S. 98 ingress / egress to provide pedestrian connectivity to the pedestrian amenities along CR 30 A and Topsail Hill Park.
 - d. Improved multi-modal transportation options in the area including trails, paths, sidewalks, and pedestrian amenities.
 - e. Regional stormwater management and pollutant treatment for offsite watershed prior to discharge to Choctawhatchee Bay.
 - f. Creation of a walkable, mixed-use community to provide multiple user experiences including residential and commercial opportunities of various types within a village setting.
 - g. Provide work-spaces, restaurant spaces, retail spaces, hospitality uses, and recreation areas for both public use and on-site employment opportunities.
 - h. Establishment of a concept plan that emphasizes place-making by creating a series of public spaces, pocket parks, community greens and neighborhood parks.
 - i. Create a vibrant village center with thoughtful design and attractive architecture that will contribute to the streetscape of Highway 98.

Fire District Comments:

Date: 6/6/2023

1. This proposed project appears to meet our technical review approval at this time contingent on the following:
2. Access roadways shall be 20 ft unobstructed width. 15 ft width is permitted for one-way traffic.
3. Access roadway width shall be permitted to be reduced to 12ft minimum at gate egress and exit lanes.
4. Access roads shall be accessible to fire apparatus once construction of structures begins.
5. Dead end access roadways longer than 150 ft shall be provided with an SWFD approved turn-around for emergency apparatus.
6. Once access roads are developed, street signs shall be installed identifying each access road and shall remain in place throughout the construction phase as well as when the project is completed.
7. A fire department access road shall extend to within 50 ft (15 m) of at least one exterior door that can be opened from the outside and that provides access to the interior of the building.



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8. In accordance with NFPA 1141, residential sub-divisions serving 101-600 units shall be required to have two separate access roads. This has been identified.
9. Any proposed gates shall be required to be submitted to SWFD for review/ approval. Indicate fire hydrant location(s). They shall be listed prior to final SWFD approval.
10. The maximum distance to a fire hydrant from the closest point on the buildings shall not exceed 400 ft (driving distance) The maximum distance between fire hydrants shall not exceed 500 ft. (driving distance)
11. Fire Hydrants shall be located no further than 100ft from fire department connections (FDC).
12. Fire hydrants shall be located not more than 12 ft from the fire department access road Fire hydrant shall be operational once construction of structures begins.
13. A more detailed review shall be required for final SWFD approval.
14. Hydrants must be painted Chrome Yellow.

Utility Provider Comments:

Date: 5/19/2023

1. No comments at this time.

Public Works:

Date: 9/14/2023

The Walton County Public Works Department has reviewed the engineering plans for the aforementioned project in regards to our area of review, which is typically limited to impacts to the County right-of-way. All conceptual review comments have been addressed at this time; however, please note the following as more technical comments will be issued during future technical submittals:

1. The conceptual plans indicate cross-access capabilities being provided through the extension of Dune Lakes Boulevard from the eastern terminus of the existing roadway to Hunters Rd. During future technical submittals, the technical details will be thoroughly reviewed and evaluated to ensure the intent of cross-access as defined in the Walton County LDC has been met.
2. The provided traffic information and response letter indicates that currently there are no operational improvements warranted along East Hewett Road. Based upon adjacent development trends, Public Works will request an updated operational analysis for US 98 and E Hewett Rd and/or turn lane warrant analyses along E Hewett Rd project access points with each technical submittal that will take into account the current background traffic at the time of the submittal.
3. The Applicant provided a commitment letter, dated August 23, 2023, that indicates their intent to construct Dune Lakes Blvd from the existing eastern terminus, across the development parcel, and connect to CR 30A intersection to provide the functional benefits intended with the original Topsail PUD. Please note that Public Works conceptual approval is contingent upon the PUD project site layout and phasing plan being developed as currently shown. Any amendment to the PUD or phasing plan will need to be reviewed by Public Works to ensure the same functional benefit is being provided or a revised traffic concurrency review may be needed. Additionally, it should be noted that the Applicant's letter states their desire that proportional fair share (PFS) credits will be applied to the construction of the Dune Lakes Blvd extension. Public Works and the Planning Department's engineering consultant, John Algehemand, P.E. with DRMP, are in agreement that this does not meet the criteria to be credited towards any proportional fair share (PFS) contribution that is required.

Public Works Survey Comments:

Date: 5/17/2023

1. No comments.

Engineer Comments:

Date: 9/1/2023



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Engineering Review Comments.

1. No further engineering review comments. The applicant has demonstrated that the proposed development complies with the Walton County Land Development Code.

Transportation Review Comments.

1. The 30 West Conceptual PUD Master Plan includes 717 multi-family residential units and approximately 309,655 square feet of commercial space. The development is located on US 98 between Hewitt and Hunters Road in Santa Rosa Beach, Florida. The overall parcel has an area of approximately 87.7 acres with 19.34 acres of Jurisdictional wetlands. The Institute of Transportation Engineers (ITE) Trip Generation Manual (11th Edition) was used to determine the maximum PM Peak Hour trips generated by the entire 30 West Conceptual PUD project. Based on the ITE Manual, the project will generate 679 PM peak hour trips after reductions for internal capture and pass-by (370 trips entering, 309 trips exiting). Turn lane analyses were conducted to determine whether left turn and right turn lanes are warranted on US 98 at the proposed connections.
2. The revised traffic impact analysis calculated background traffic for this project by increasing the current year traffic volume for each segment by 2% annually as growth rate versus using the committed trips plus current volume, as required by the Walton County LDC. This is not the correct procedure for calculating background traffic.
3. The revised traffic study does not affect the trip generation or distribution determined for this project previously, therefore the proportionate fair share fee will remain the same as initial traffic study.

Transportation Concurrency Review

To complete the CMS review for this project, please address the following comments:

4. As required by the Walton County CMS, please revise the traffic study's background/committed trips with the impact of project trips and growth rates per segment. – (Can be addressed during Detailed PUD Review.)
5. The trips generated by the project will impact overcapacity segments of County Road 30A and US 98 as shown in the following table. Therefore, the project does not meet the Transportation Concurrency requirements under Chapter 3 of the Walton County LDC. To mitigate for the impact of the project trips on the overcapacity segments, a transportation proportionate fair share fee in the amount of **\$2,922,986.02** is estimated as shown



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below:

PROJECT CONCURRENCY INFORMATION							
30 West Conceptual PUD							
Build-Out:	#REF!						
Road / Street	Segment	Segment	Project	Peak	Proportionate	Cost Per	
Name	Number	Description	Trips	Direction	Fair Share Trips	Trip	Segment
County Road 30A	C0030A.010-E	US 98 (West End) to Flamingo Drive	46	PD	46	\$ 2,750.73	\$ 126,533.53
County Road 30A	C0030A.010-W	Flamingo Drive to US 98 (West End)	56		0	\$ -	\$ -
County Road 30A	C0030A.020-E	Flamingo Drive to Bishop Road	40	PD	40	\$ 4,958.64	\$ 198,345.61
County Road 30A	C0030A.020-W	Bishop Road to Flamingo Drive	48		0	\$ -	\$ -
US 98 (State Road 30)	U098.080-E	Sandestin Lane to CR 457 (Mack Bayou Road)	174	PD	174	\$ 1,678.52	\$ 292,062.29
US 98 (State Road 30)	U098.080-W	CR 457 (Mack Bayou Road) to Sandestin Lane	145		0	\$ -	\$ -
US 98 (State Road 30)	U098.090-E	CR 457 (Mack Bayou Road) to W. Hewitt Road	204	PD	204	\$ 5,289.58	\$ 1,079,073.48
US 98 (State Road 30)	U098.090-W	W. Hewitt Road to CR 457 (Mack Bayou Road)	170		0	\$ -	\$ -
US 98 (State Road 30)	U098.100-E	W. Hewitt Road to to CR 30-A (West End)	237	PD	237	\$ 3,815.27	\$ 904,218.63
US 98 (State Road 30)	U098.100-W	CR 30-A (West End) to W. Hewitt Road	198		0	\$ -	\$ -
US 98 (State Road 30)	U098.110-E	CR 30-A (West End) to Thompson Road	65		0	\$ -	\$ -
US 98 (State Road 30)	U098.110-W	Thompson Road to CR 30-A (West End)	78	PD	78	\$ 4,137.85	\$ 322,752.48
US 98 (State Road 30)	U098.120-E	Thompson Road to S. Church Street	65		0	\$ -	\$ -
US 98 (State Road 30)	U098.120-W	S. Church Street to Thompson Road	78	PD	0	\$ -	\$ -
Total Cost:						\$2,922,986.02	

Florida Department of Health Comments:

Date: 5/15/2023

The FDOH-Walton Environmental Health Office has reviewed the proposed plans and has noted the following:

- 30 West Conceptual PUD- MAJ23-000012
 - This proposal will utilize public water and sewer.
 - If any proposed swimming pools may be considered a public swimming pool as per s. 514.011(2) Florida Statutes. Before construction of any swimming pool begins or changes to existing pools, the pool contractor will need to contact the Walton County Building Department and the Escambia County Health Department to determine if pool needs to be permitted and for approval of pool plans. The Escambia County Health Department phone number is (850) 595-6700. The address for the Escambia County Environmental Health Office is: 1300 West Gregory Street, Pensacola, FL 32501.

Code Enforcement Comments:

Date: 5/16/2023

- No liens, fees, or code cases on this parcel.

Emergency Management Comments:

Date: 5/15/2023

- It appears that this is located in Evacuation Zone C.

Floodplain Management Comments:

Date: 5/17/2023

Floodplain Specific Comments:

The proposed project area is located within FEMA Zone X and Un-numbered A zone according to Effective FEMA Maps 12131C0544 H, dated 12/30/2020.

- Most development activity is proposed outside of the Special Flood Hazard Area (SFHA). Any proposed impacts to the regulated SFHA will be required to meet the design standards outlined in Chapter 4 & 5 of the Land Development Code.
- 4.09.06(A)(3) of the LDC requires detailed engineered base flood elevation data prepared and submitted for review for projects greater than 5 acres:



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- a. Where the parcel on which the proposed development will take place will have more than 50 lots or is larger than 5 acres and the base flood elevations are not included on the FIRM or in the Flood Insurance Study, such elevations shall be established in accordance with Section 4.09.06(B)(1).
- b. 4.09.06(B)(1): Require the applicant to include base flood elevation data prepared in accordance with currently accepted engineering practices. This study must be conducted using existing conditions.
3. Demonstrate compliance with the limitations on placement of fill and hydrologically equivalent storage volume required in 4.09.12(E) and 5.00.07(B)(5).
4. There are no outstanding floodplain comments or issues related to this project as submitted and appears to meet the minimum Floodplain requirements of the Land Development Code and Comprehensive Plan.

Environmental Comments:

Date: 9/21/2023

Environmental Assessment Summary:

1. **Soils** – The Environmental Assessment (EA) identified three soil type(s) on the subject property: 1. Rutledge fine sand a. This soil is very poorly drained and nearly level. It is in shallow depressions on stream or creek flood plains and upland flats. Rutledge soil has a high-water table at or near the surface for long periods of the year. Shallow ponding is common. The available water capacity is high in the surface layer and low in the underlying material. Internal drainage is impeded by the high-water table. 2. Leon Sand, 0 to 2 percent slopes a. This soil is poorly drained and nearly level. The Leon soil has a high-water table at a depth of 10 to 40 inches for periods of more than 9 months during most years. The high-water table is at a depth of less than 10 inches for 1 to 4 months during periods of high rainfall and recedes to a depth of more than 40 inches during very dry seasons. 3. Pickney sand, depressional a. This soil is very poorly drained and nearly level. It is in drainage ways and depressional areas of flatwoods. This soil is ponded for more than 4 months annually. During the drier seasons, the high-water table can recede to a depth of 20 inches. The water capacity is very low to moderate. Permeability is rapid throughout; however, internal drainage is low when impeded by the high-water table.
- Wetlands** – According to the EA, the site contains 17.5 +/- acres of wetlands or surface waters jurisdictional to the USACE and the FDEP.
- Vegetative Communities** – According to the EA, the site contains three natural vegetative communities, Hydric Pine Flatwoods, Basin Swamp, and Mesic Pine Flatwoods. Non-natural communities are Pond, Ditch, Powerline, Road, and Disturbed Area. No preservation required.
- Threatened and Endangered Species** – According to the EA, the site contains no threatened or endangered animal species. Historic and Cultural Resources – The EA has provided correspondence from the Florida Master Site File stating that 2 known sites are within the project site. WL01998 and WL03124.
- Hazardous Materials and Contamination** – According to the EA, the site does not contain evidence of hazardous materials or contamination.

Site Specific Environmental Comments:

1. There are no outstanding environmental comments or issues related to this project as submitted. The proposed project appears to meet the environmental resource protection regulations and requirements found within the Walton County Land Development Code and Comprehensive Plan

Mosquito Control District Comments:

Date: 5/15/2023

SWCMCD Stormwater Discharge Requirements into Mosquito Ditches



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1. Currently, the drainage capacity of segments of SWCMCD mosquito ditches is exceeded under a multitude of design storm events. NWFWMCD does not require an evaluation of the increase in stormwater volume being released as a result of a development project unless the site discharges to a closed drainage system; yet the overall volume being released downstream is greater than in pre-development conditions. The increased volumes of stormwater discharges affect the high-water stages in the ditches, topping banks with standing water for longer periods than in the past, negatively affecting mosquito breeding and increasing public health risks. Lacking a comprehensive model of the mosquito ditch system that can be used to accurately model discharges to the ditches by new developments, the safest solution to address flooding, standing water, and mosquito control is to require new discharges meet SWCMCD mosquito ditch standards.

Requirements for Discharges to SWCMCD Ditches

2. The total post-development volume of stormwater leaving the project site shall be no more than the total predevelopment volume leaving the site for the 100-year 24-hour storm and must recover through a non-operable structure in no sooner than 10 days and no longer than 14 days after the storm event. The rate of runoff leaving the site post-development for the mean annual, 25-year and 100-year 24-hour storm events shall not exceed the rate for the same storms based on pre-development conditions. New discharges require a 25-foot maintenance easement to ensure adequate access for equipment.

Erosion and Sediment Control Criteria for Parcels Adjacent to SWCMCD Ditches

3. A double row of silt fence installed per FDOT Index 102 shall be required for erosion and sediment control where any construction abuts a South Walton County Mosquito Control District ditch. Silt fencing shall be installed parallel to the top of bank to prevent silt and drainage from entering the ditch from the construction site. Daily inspection shall be made by the contractor and silt accumulation must be removed when depth reaches six inches. When dewatering operations consist of off-site discharge, the contractor must ensure the effluent meets state water quality standards. The standards for discharging water into a receiving body cannot exceed 29 nephelometric turbidity units (NTU's) above background. Samples of the effluent should be taken at the discharge point into the receiving body. For best results, samples should be taken 2 times a day, at least 4 hours apart.

Head Walls

4. Stabilize all disturbed slopes adjacent to a SWCMCD ditch with sod over geotextile fabric including all areas around headwalls.

Rip Rap

5. Line the ditch bottom and ditch side slopes around discharge pipes with 155 SF/197 CF of rubble rip-rap meeting FDOT Spec. 530-2.2.2 so that riprap extends the maximum flow depth. Extend riprap to five times the bottom width upstream and downstream of the discharge pipe.

School Board Comments:

Date: 5/15/2023

1. 30 West PUD, project #MAJ23-000012, is a proposed development to construct 717 dwelling units within the South Walton Concurrency Service Area. This development is located on US Hwy 98 W near the intersection of 30A West and E Hewett Road. Parcel ID # 29-2S-20-33000-045-0000; 29-2S-20-33000-046-0050; 29-2S-20-33000-046-0040; 29-2S-20-33000-050-0000; 30-2S-20-33230-000-0110; 29-2S-20-33000-011-0010; 30-2S-20-33230-000-001A.



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2. To estimate the impacts that proposed projects may have on the School District's educational facilities, the District uses student generation multipliers. Based on the South Walton County multiplier, the units are calculated at an overall 0.17 per unit. This number is divided among the three school levels: 0.08 elementary, 0.04 middle, and 0.05 high.
3. According to the multipliers, if the 717 dwelling units are developed, the estimated impact would be adding approximately 122-123 student stations to the School District.

30 West PUD					
South Walton Student Generation Multiplier					
	# of Units	Elementary	Middle	High	Student Stations
Single Family		0.08	0.04	0.05	0.17
	717	57.36	28.68	35.85	121.89
Multi-Family		0.04	0.02	0.02	0.08
		0.0	0.0	0.0	0
Total Students		57.36	28.68	35.85	122

- 4.
5. Based on the January 2023 student enrollment numbers, the current permanent capacity for each school is as follows:
 - ~ South Walton High School at 112% (over capacity)
 - ~ Emerald Coast Middle School at 83%
 - ~ Dune Lakes Elementary 91%
 - ~ Van R. Butler Elementary School at 97%
6. The School District continues to collaborate with Walton County Planning and developers to monitor and address the impact of student growth as a direct result from developments. Since December 2020, the Walton County School Board has purchased a total of 150 acres for a future school site in the South Walton area to address student growth. Many of the south end schools are either at or over capacity.
7. As a part of the school transportation process, please include school bus accessibility stops for student pick up and drop off in the project's design phase. This would improve student safety.

Eglin Comments:	Date: 5/15/2023
1. EGLIN AFB has no comments for MAJ23-000012.	
GIS Comments:	Date: 5/15/2023
1. The above project meets all the specifications of County Ordinance #2006-17 at this time.	
Florida Department of Transportation:	Date:
1. N/A	

FEES:	
1. Sidewalk Buyout	= \$ N/A
2. Preservation Buyout	= \$ TBD



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3. Proportionate Fair Share	= \$ 2,922,986.02 (Addressed during Detailed PUD review.)
4. Plat Recreation Fee	= \$ TBD
5. 911 Recording Fee	= \$ TBD
<i>*Fee amounts above reflect a preliminary estimate. Fees based on land value are subject to change upon annual adoption of tax rolls.</i>	

RECOMMENDATION:

1. To approve, approve with conditions, or deny the application.

REVIEW / APPROVAL PROCESS – NEXT STEPS

1. Board of County Commissioners

EXHIBITS TO STAFF REPORT:

1. Project Map Series
2. Concurrency Management Letter
3. Public Comment
4. Planned Unit Development – Entitlement Allocation Breakdown

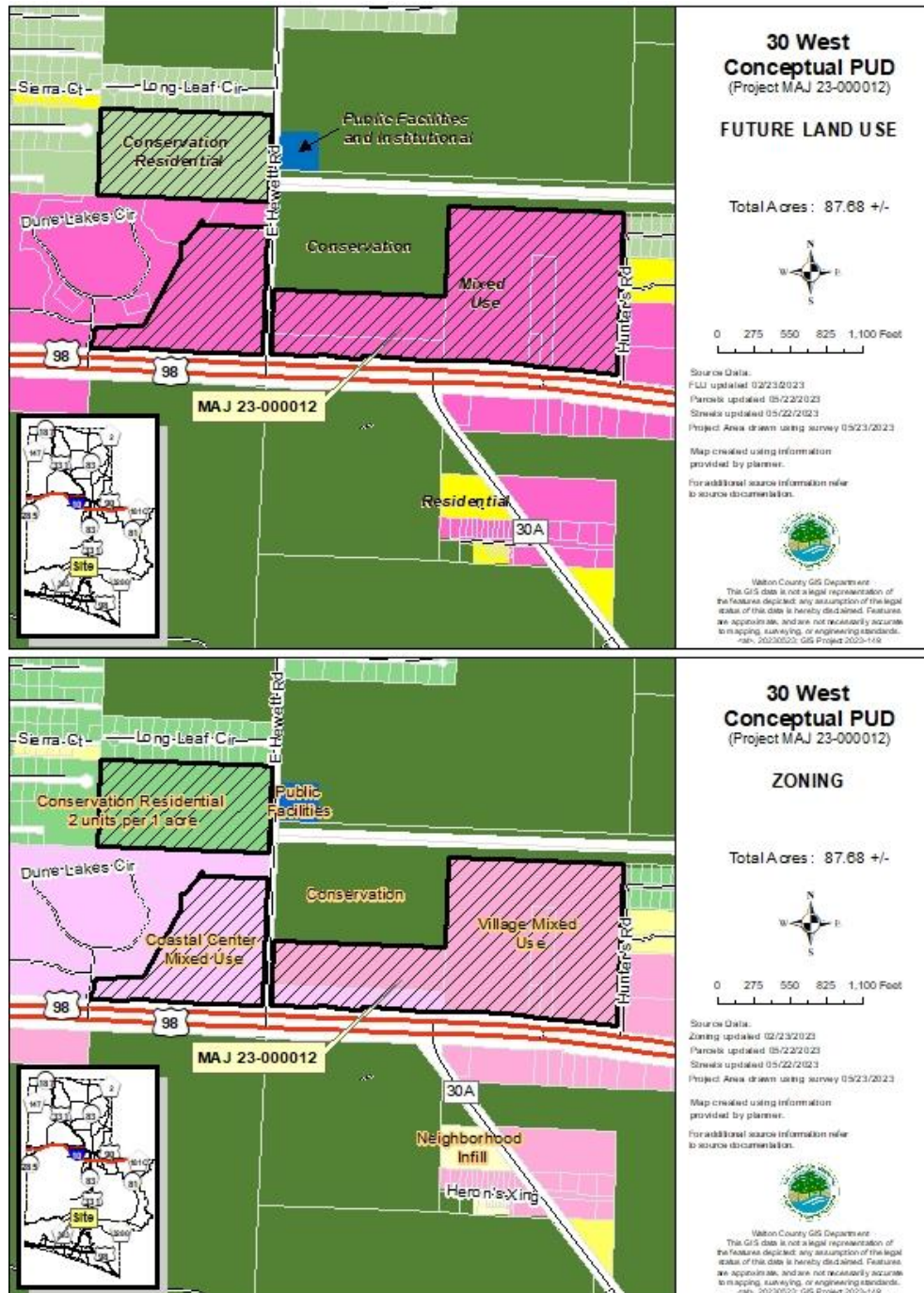


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EXHIBIT 1. PROJECT MAP SERIES



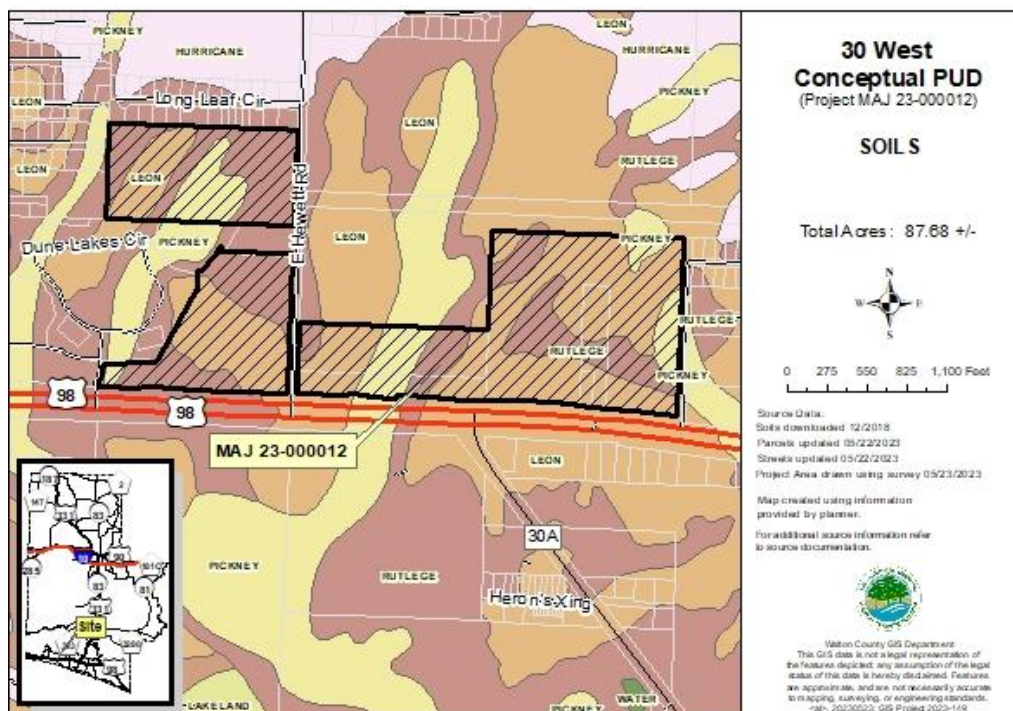
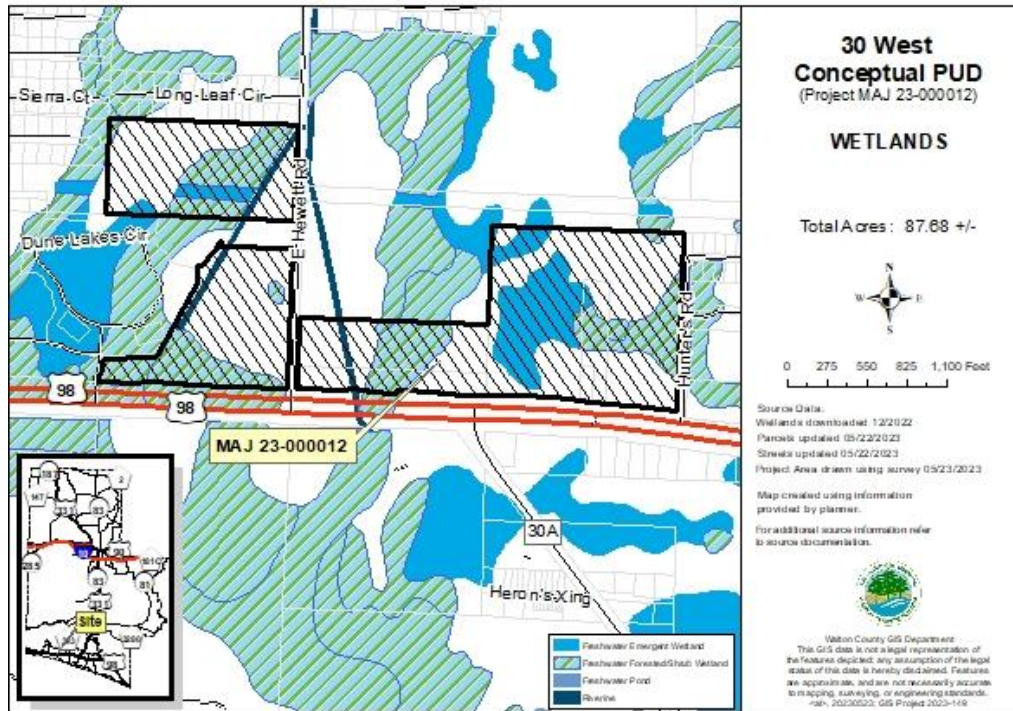


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